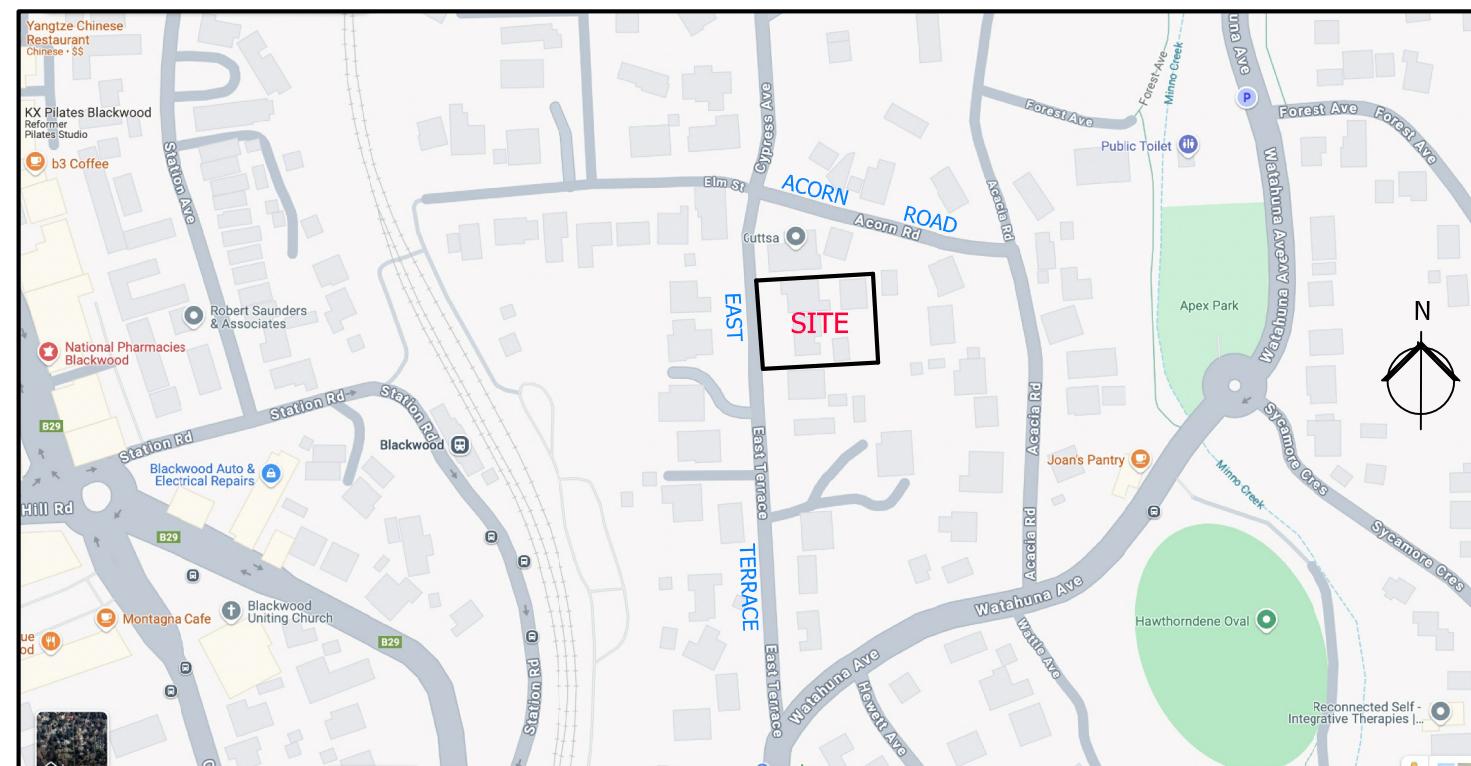


PROPOSED LAND DIVISION and SEMI-DETACHED DWELLINGS

22 - 26 EAST TERRACE, HAWTHORNDENE S.A.



STREETSCAPE ALONG EAST TERRACE - (WEST FACING)



LOCALITY MAP

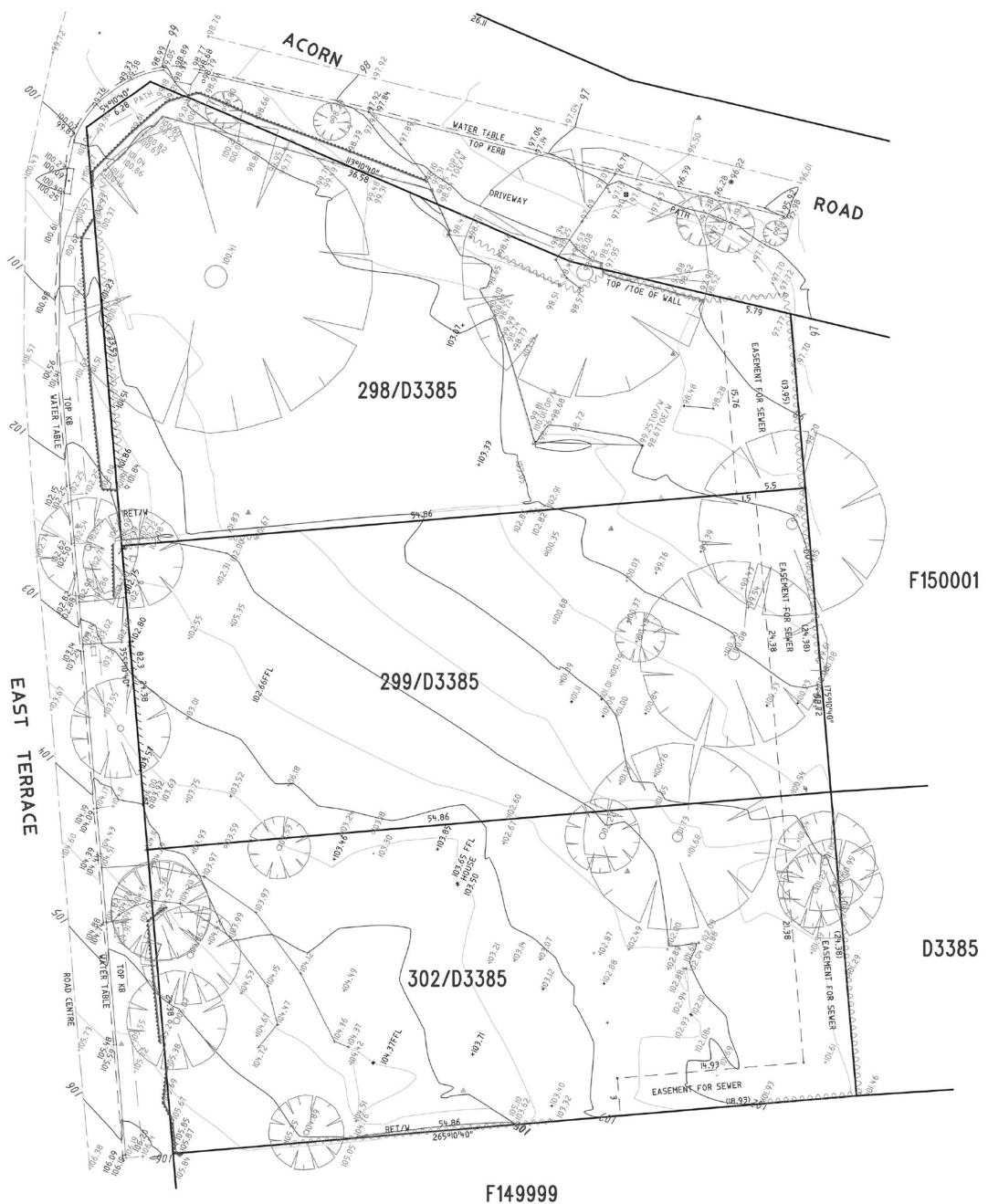
SHEET INDEX

- SHEET 1 of 12..... SURVEYORS LAND CONTOURS AND EXISTING TREES
- SHEET 2 of 12..... BOUNDARY DETAILS
- SHEET 3 of 12..... LEVEL CONTOURS - DRAINAGE
- SHEET 4 of 12..... CIVIL EARTHWORKS
- SHEET 5 of 12..... SITE PLAN - (OFFSET DIMENSIONS)
- SHEET 6 of 12..... FLOOR LAYOUT PLAN - DWELLINGS ① and ②
- SHEET 7 of 12..... FLOOR LAYOUT PLAN - DWELLINGS ③ and ④
- SHEET 8 of 12..... FRONT AND REAR ELEVATIONS
- SHEET 9 of 12..... SIDE ELEVATIONS - DWELLINGS ① and ②
- SHEET 10 of 12..... SIDE ELEVATIONS - DWELLINGS ③ and ④
- SHEET 11 of 12..... FRONT LANDSCAPING
- SHEET 12 of 12..... PROPERTY ACCESS GRADIENTS (TYPICAL)

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CLIENT
PLAN OF DETAIL
22-24 EAST TERRACE
HAWTHORNE NEDENE
CITY OF MITCHAM
REFERENCE 6271 VERI

ALLOTMENTS
298, 299 & 302 D3385

CERTIFICATES OF TITLE
5159/494, 5523/66 & 5537/994

SUBJECT LANDS MARKED AFFECTED BY
EASEMENTS MARKED
"EASEMENT FOR SEWER"

CLIENT
FRANK TARNEY DESIGN

GENERAL NOTES

IMPORTANT NOTE
NOTES ARE AN INTEGRAL PART OF THIS PLAN

THIS PLAN IS FOR ADDITIONAL BUILDING DESIGN
PURPOSES ONLY. SHOULD NOT BE USED FOR ANY
OTHER PURPOSE.

NO ATTEMPT WAS MADE AT THE TIME OF SURVEY TO
LOCATE ANY UNDERGROUND SERVICES. AND BEFORE
ANY EXCAVATION WORK IS CARRIED OUT THE
RELEVANT AUTHORITIES SHOULD BE CONTACTED

SURVEY HEIGHTS TO ASSUMED HEIGHT DATUM
ASSUMED COORDINATE DATUM
DATE OF ORIGINAL SURVEY/ISSUE 7/10/22

KEY

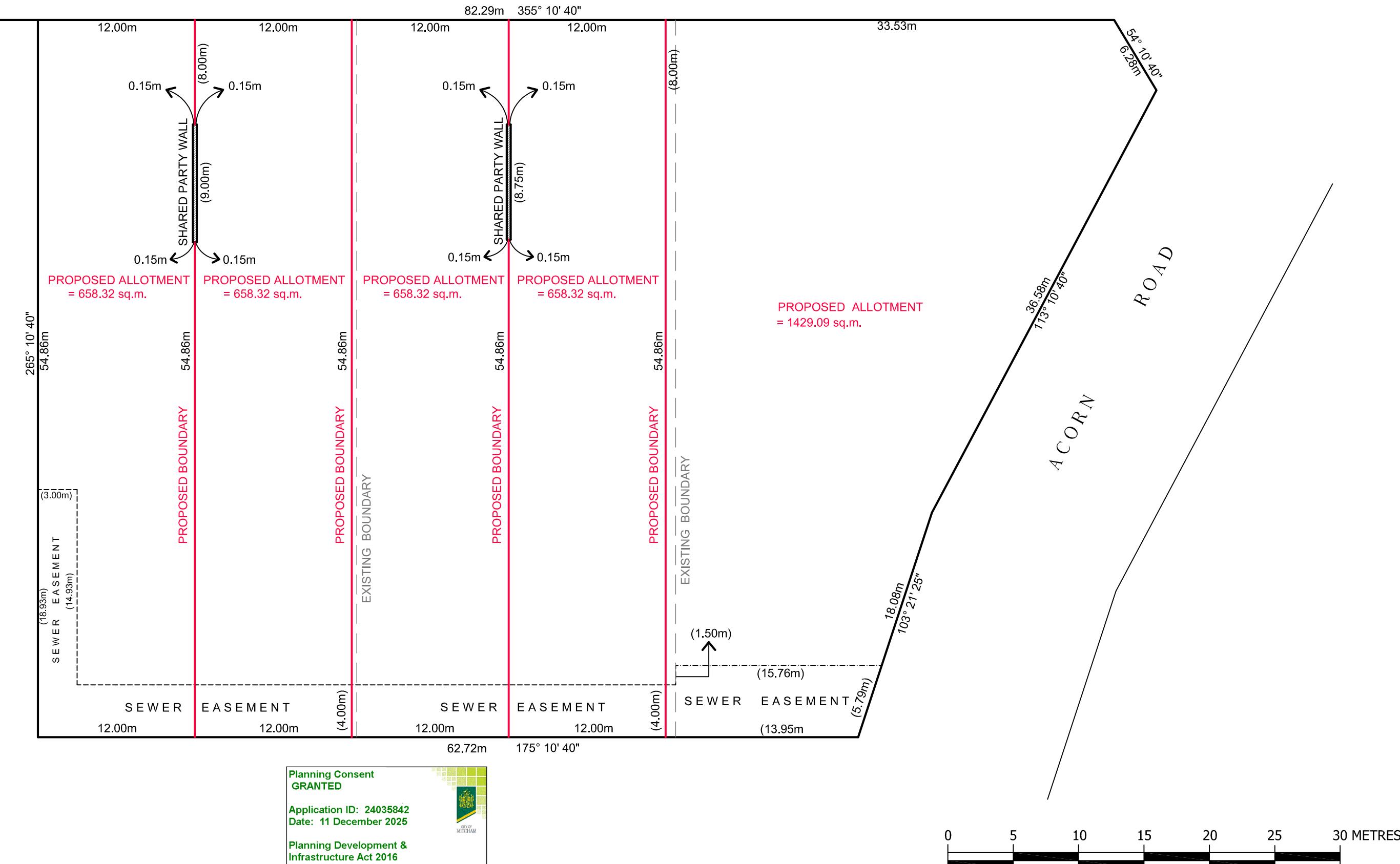
- 0.50 metre CONTOUR INTERVAL
- SELECTED NS LEVEL
- PVC DOWN PIPE
- SURFACE INLET STORMWATER PIT
- WATER METER
- SPRINKLER

0 SCALE 5 10 15 METRES 20

Access SDM
Surveying - Civil Design
Development - Management
18A Cameron Street, Mount Barker SA 5251
(08) 8391 3000 survev@bigpond.net.au

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urban planning and design
Ph. 0417 802 150
Email: biljen@adam.com.au

E A S T T E R R A C E



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Ph. 0417802150 Email: biljen@adam.com.au

Project: Proposed Dwellings - Land Division

Drawing: Boundary Details

Address: 22 - 26 East Tce, Hawthorndene SA

Scale: 1 : 300

Date: Oct. 202

Sheet: 2 of 1

No.

Amendments

Date

E A S T T E R R A C E

N.B.
LONGITUDINAL SECTIONS OF
DRIVEWAY GRADIENTS SHOWN
ON SHEETS ⑧ AND ⑨
(SIDE ELEVATIONS)

APPROXIMATE
FILL AND CUT LEVEL
SHOWN THUS.....

**EXCESS SOIL REMOVED FROM
SITE AS NECESSARY**



SITE PLAN

Planning Consent GRANTED

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Ph. 0417802150 Email: biljen@adam.com.au

Project: Proposed Dwellings - Land Division

Drawing: Civil Earthworks

Address: 22 - 26 East Tce, Hawthorndene SA

Scale: 1 : 300

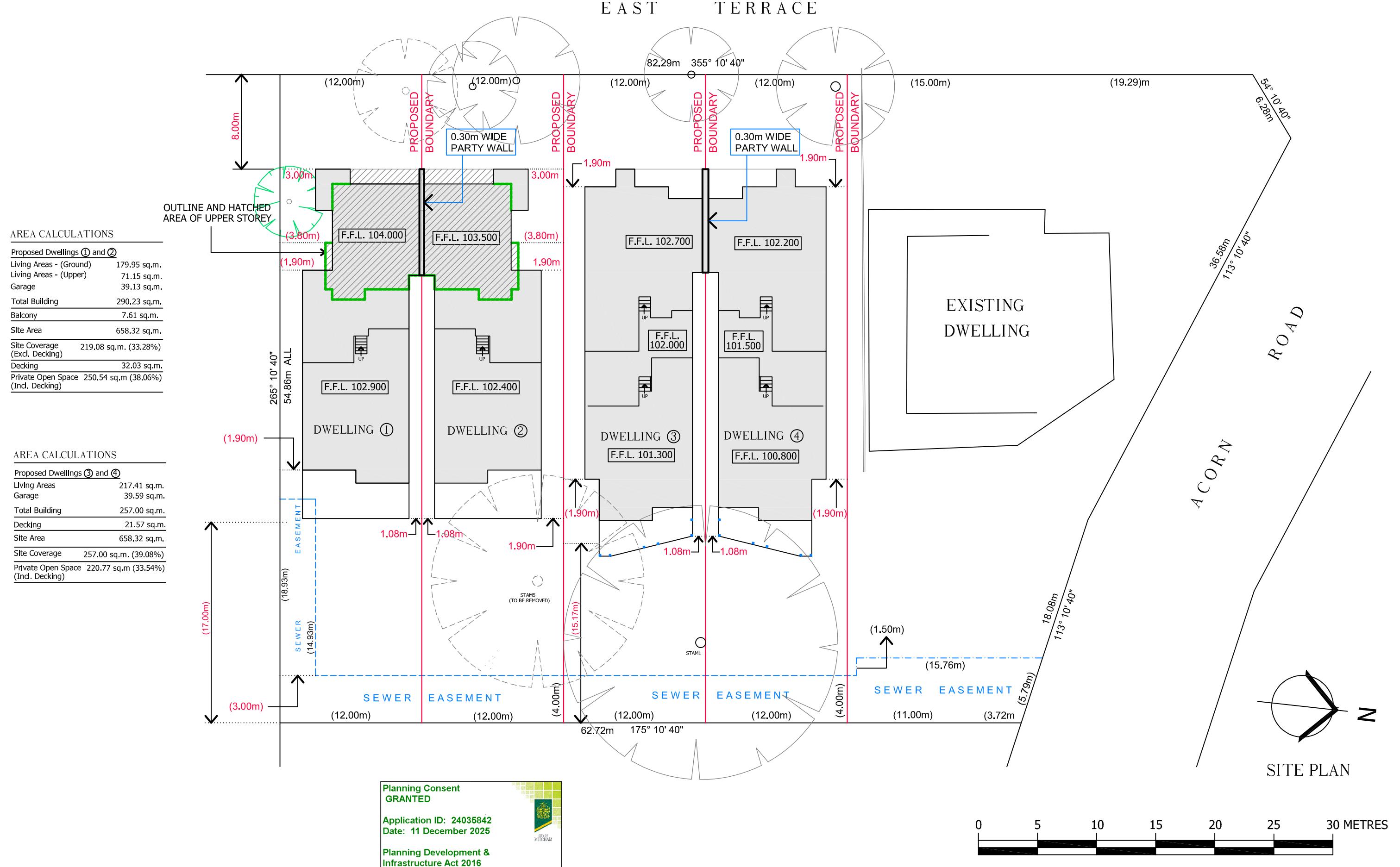
Date: Oct. 2025

Sheet: 4 of 1

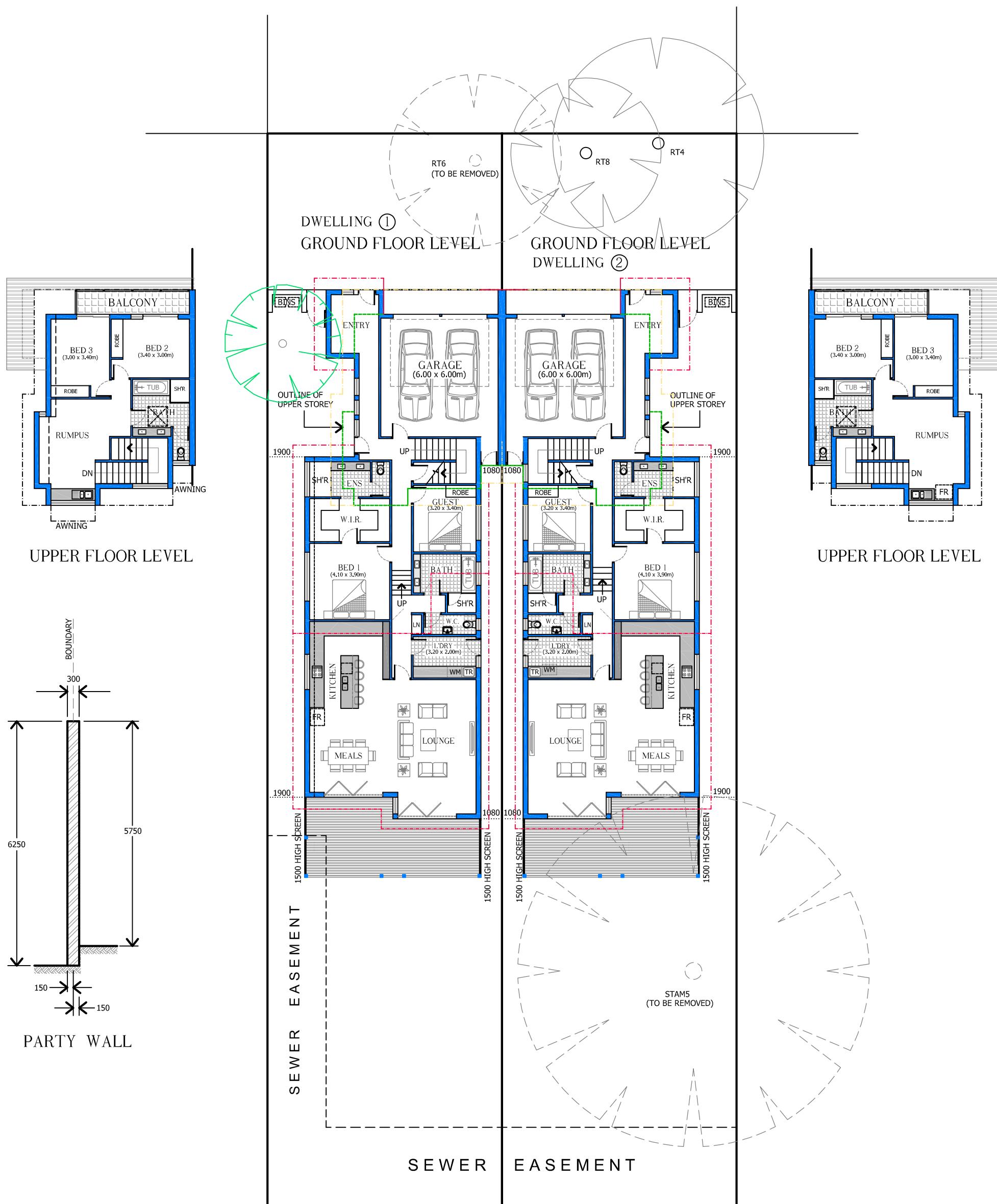
No.

Amendments

Date

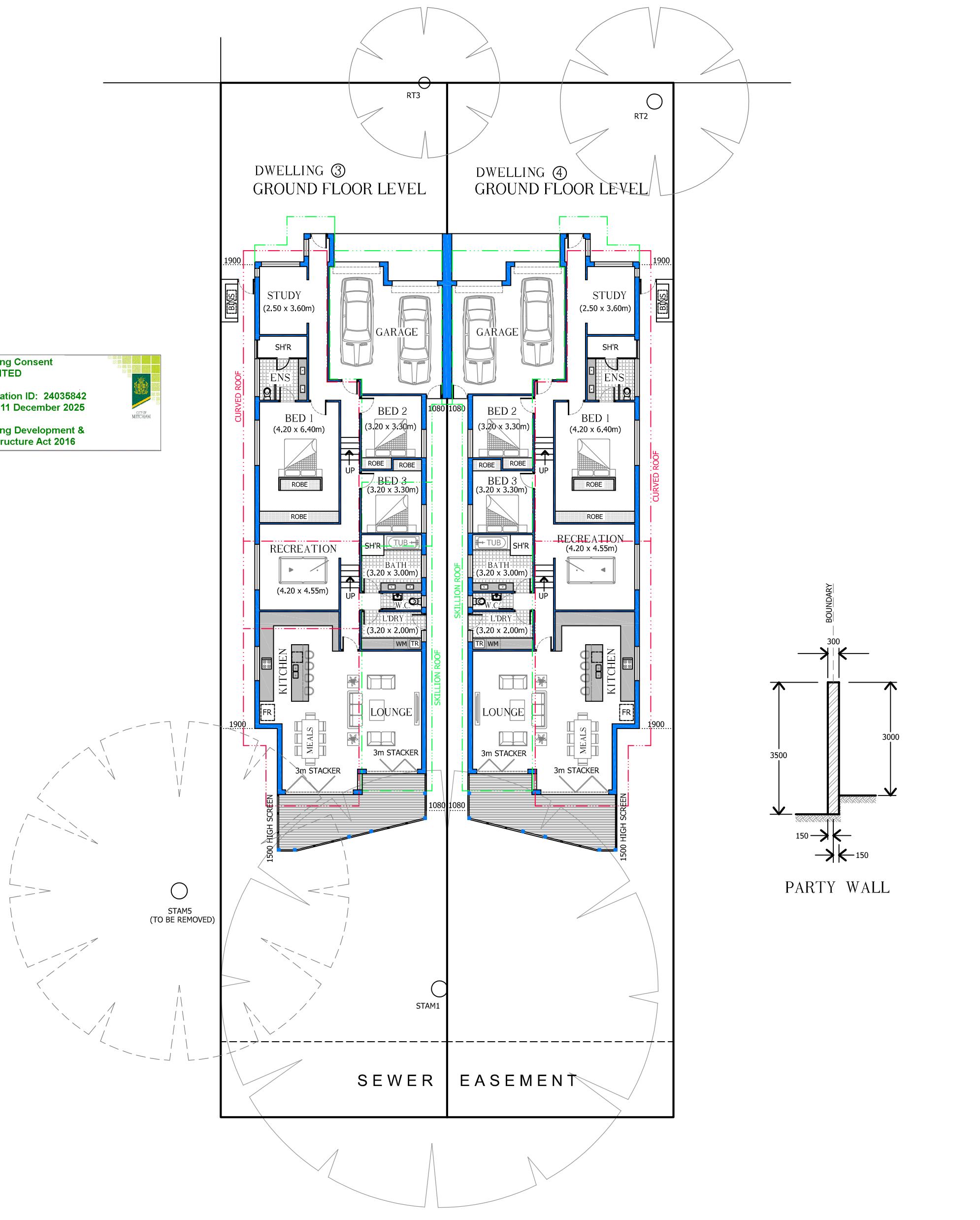


chandler urban planning and design	Project: Proposed Dwellings - Land Division	Drawing: Site Plan - (Offset Dimensions)		
Ph. 0417802150 Email: biljen@adam.com.au	Address: 22 - 26 East Tce, Hawthorndene SA	Scale: 1 : 300		
	Client: Guttsa Pty. Ltd.	Date: Oct 2025	Sheet: 5 of 12	No. Amendments Date



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Application ID: 24035842
Date: 11 December 2025
Planning Development & Infrastructure Act 2016



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Ph. 0417802150 Email: biljen@adam.com.au

Project: Proposed Dwellings - Land Division

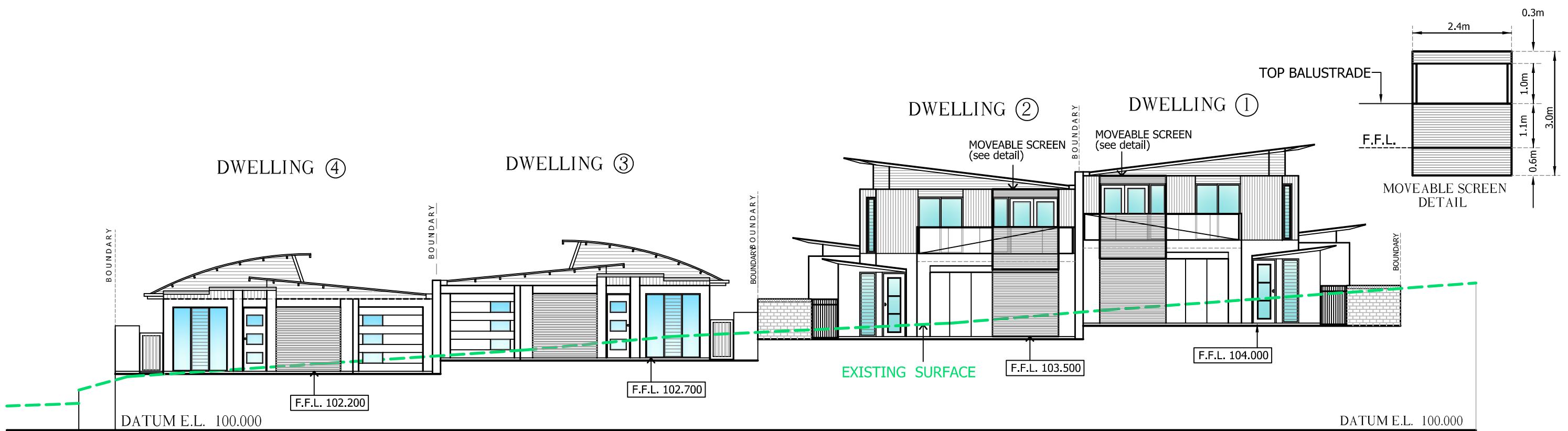
Address: 22 - 26 East Tce, Hawthorndene SA

Client: Cuttsa Pty, Ltd.

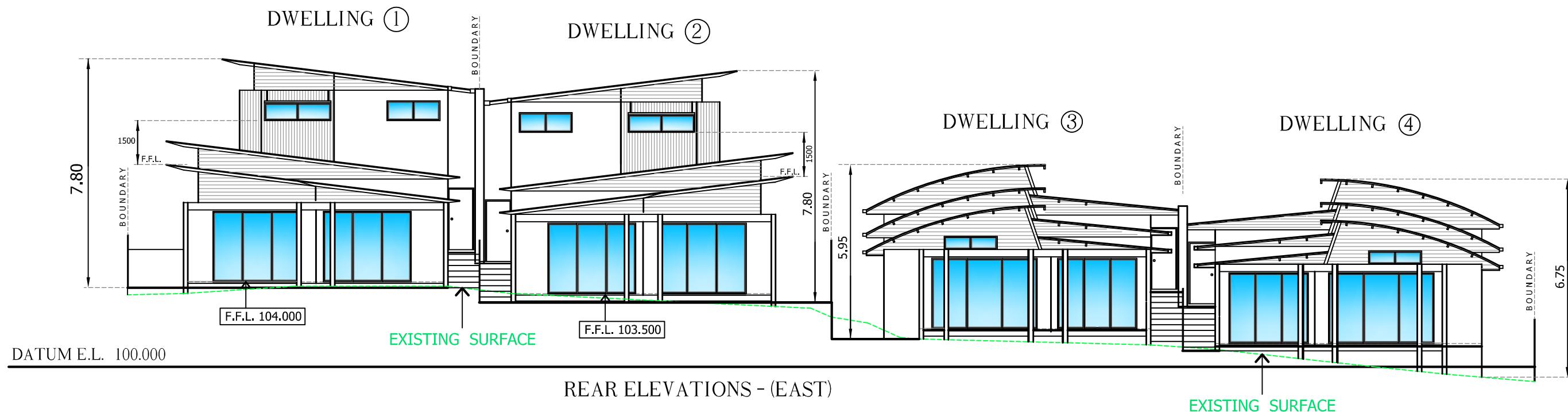
Drawing: Floor Layout Plan

Scale: 1:200

Date: Oct. 2025 Sheet: 1 of 12



FRONT ELEVATIONS - (WEST)



REAR ELEVATIONS - (EAST)



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Ph. 0417802150 Email: biljen@adam.com.au

Project: Proposed Dwellings - Land Division

Drawing: Front and Rear Elevations

Address: 22 - 26 East Tce, Hawthorndene SA

Scale: 1 : 150

Client: Guttsa Pty. Ltd.

Date: Oct. 2025

Sheet: 8 of 12

No.

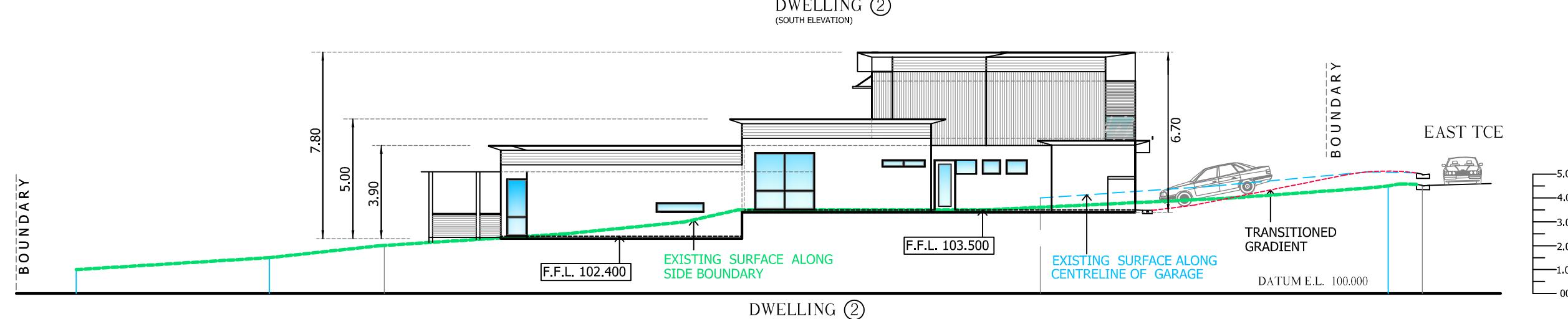
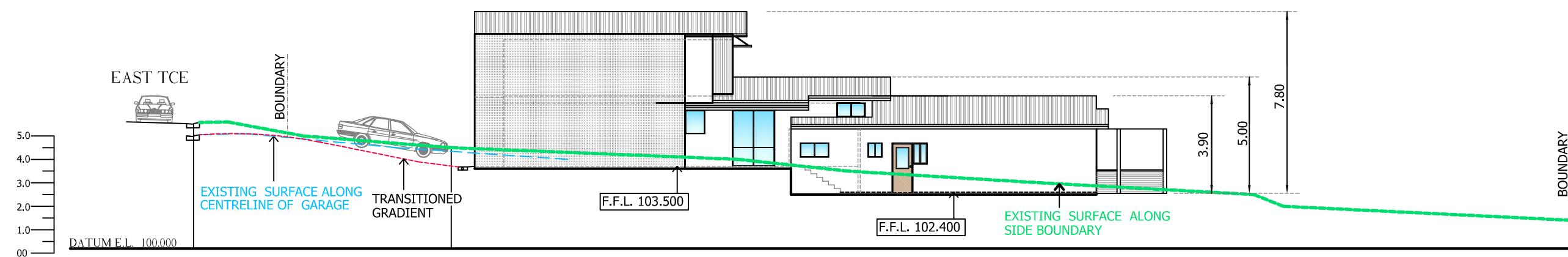
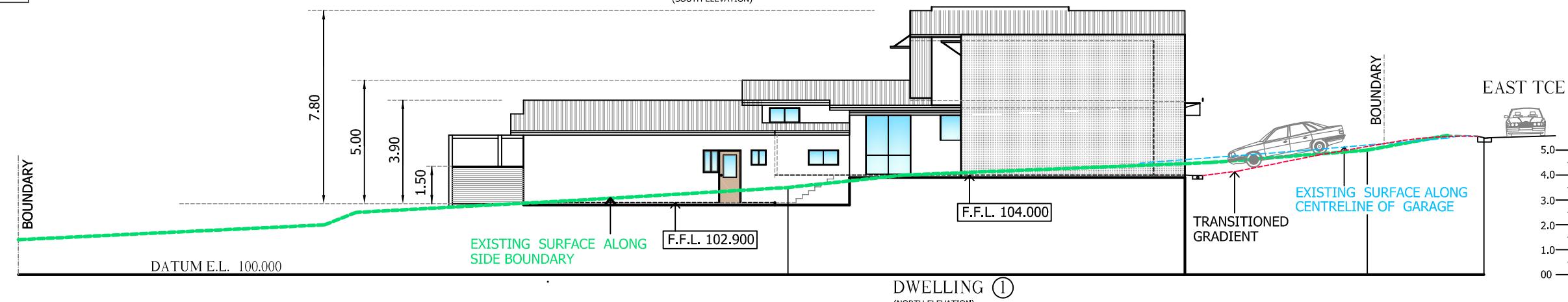
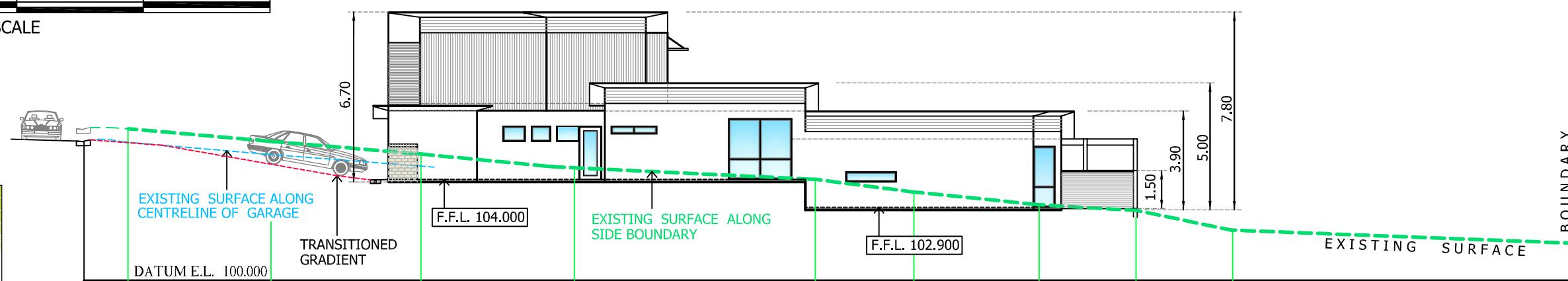
Amendments

Date

0 5 10 15 20 METRES

SCALE

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Application ID: 24035842
Date: 11 December 2025
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Infrastructure Act 2016



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Ph. 0417802150 Email: biljen@adam.com.au

Project: Proposed Dwellings - Land Division

Drawing: Elevations - Dwellings (1) & (2)

Address: 22 - 26 East Tce, Hawthorndene SA

Scale: 1 : 200

Client: Guttsa Pty. Ltd.

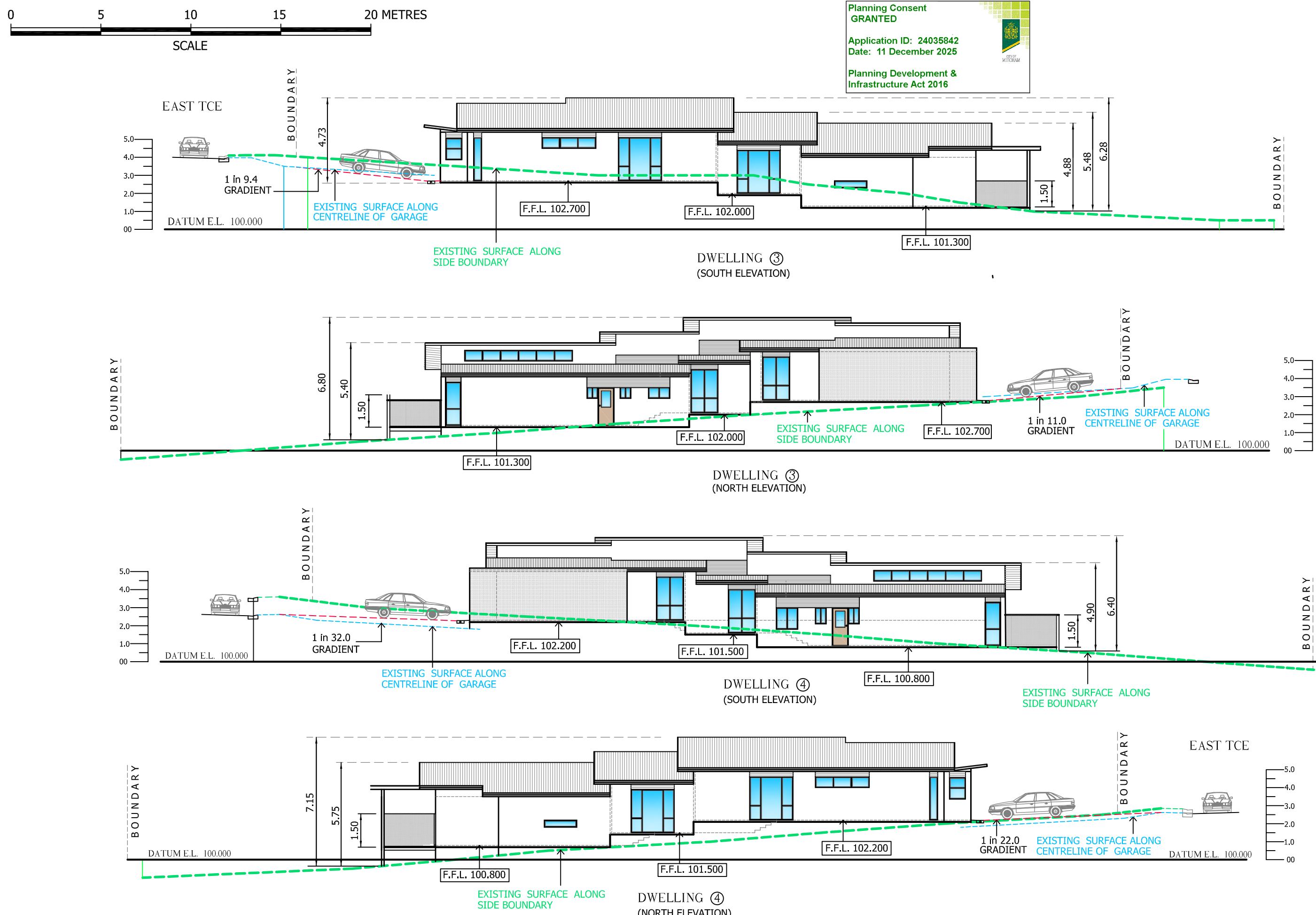
Date: Oct. 2025

Sheet: 9 of 12

No.

Amendments

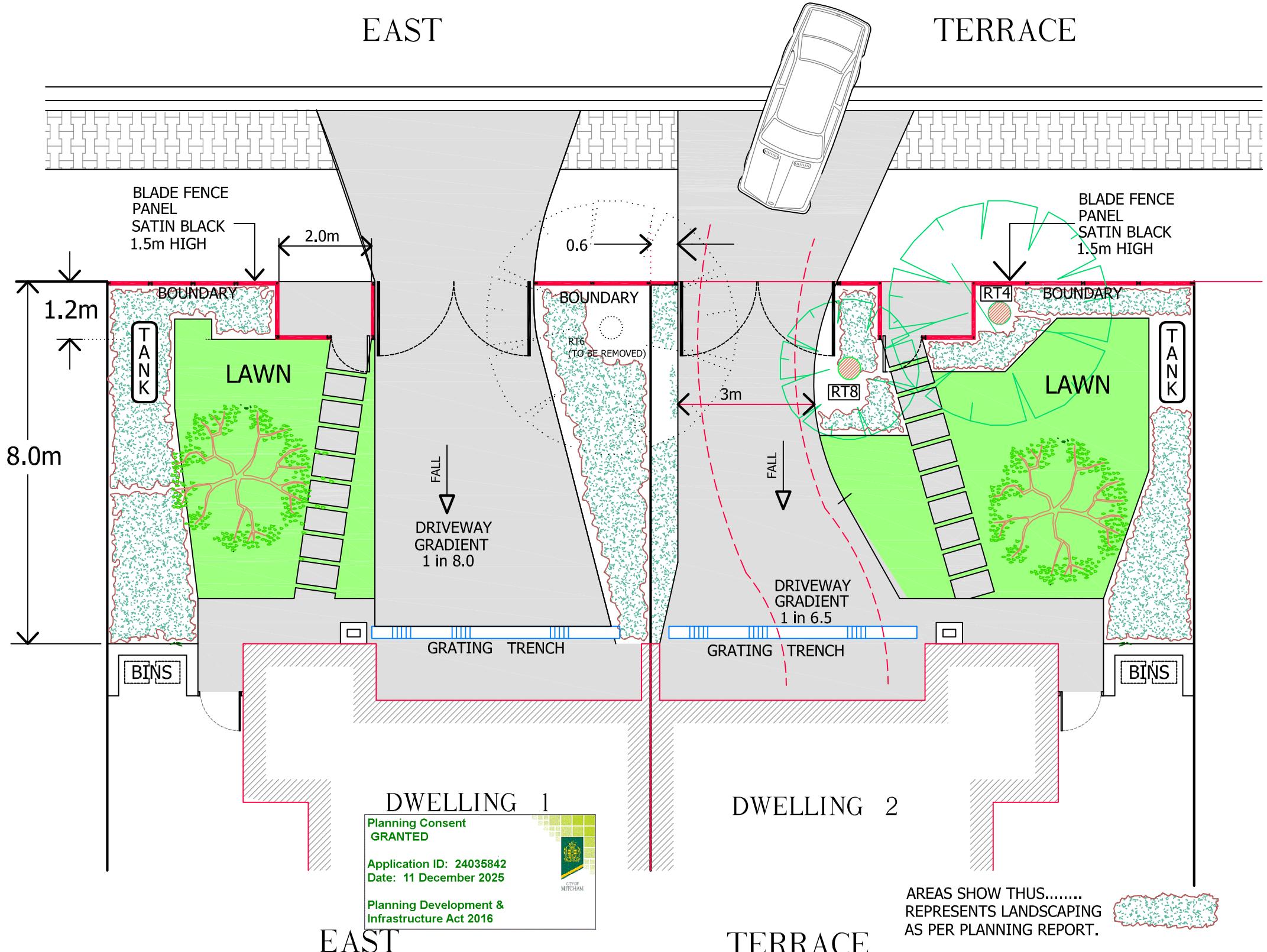
Date



chandler urban planning and design	Project: Proposed Dwellings - Land Division	Drawing: Elevations - Dwellings ③ & ④		
Ph. 0417802150 Email: biljen@adam.com.au	Address: 22 - 26 East Tce, Hawthorndene SA	Scale: 1 : 200		
	Client: Guttsa Pty. Ltd.	Date: Oct. 2025	Sheet: 10 of 12	No. Amendments Date

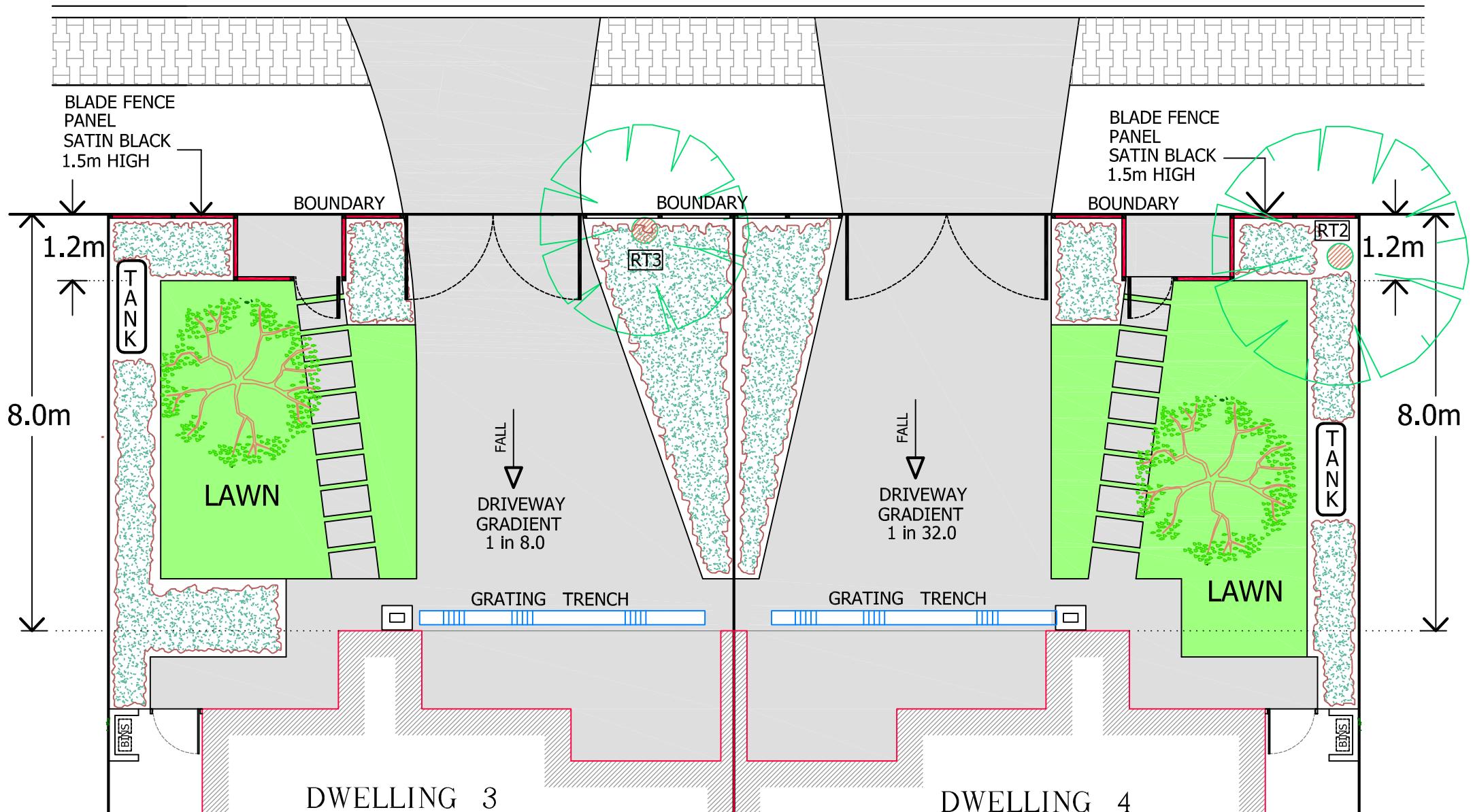
EAST

TERRACE



EAST

TERRACE



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Ph. 0417802150 Email: biljen@adam.com.au

Project: Proposed Dwellings - Land Division

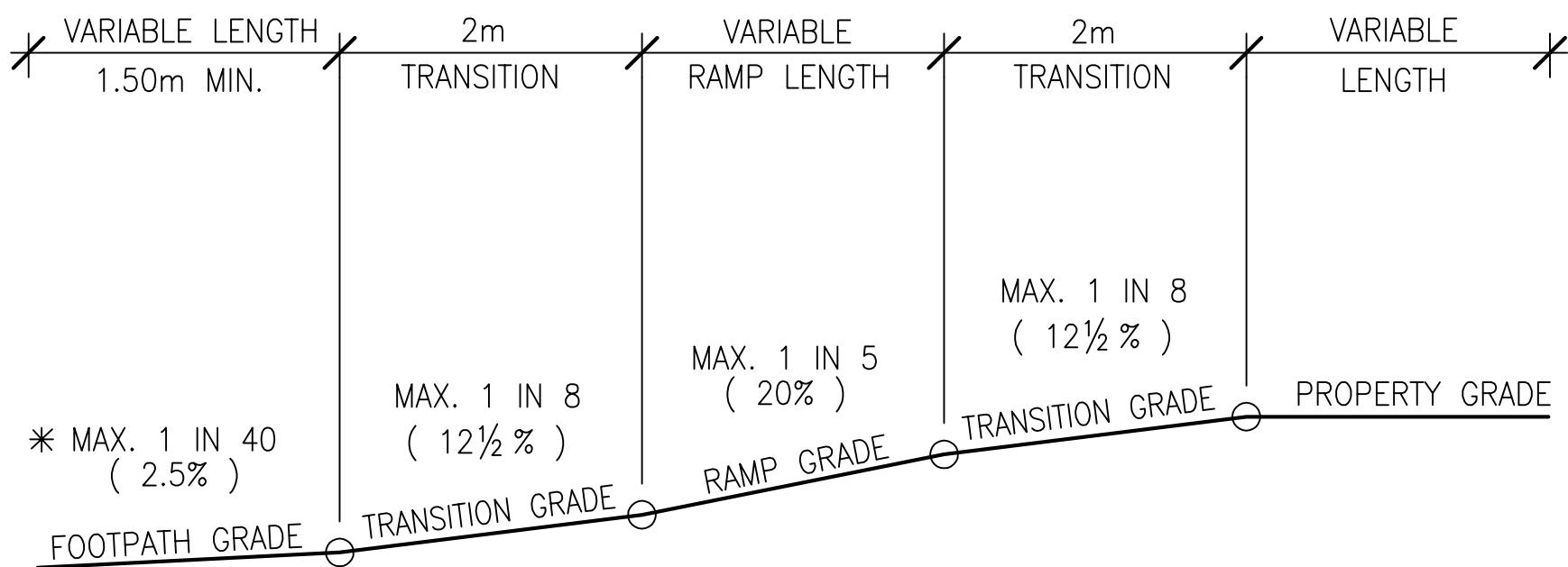
Address: 22 - 26 East Tce, Hawthorndene SA

Client: Guttta Pty. Ltd.

Drawing: Front Landscaping

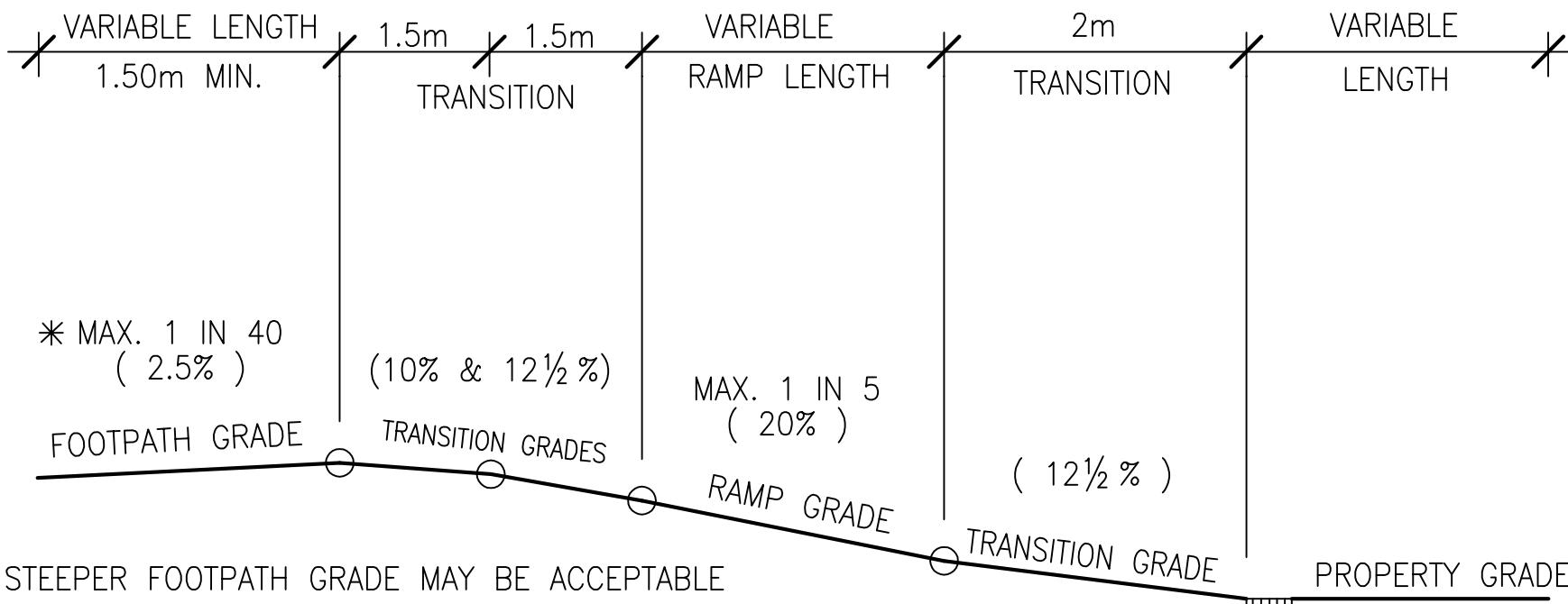
Scale: 1:100

Date: Oct. 2025 Sheet: 11 of 12



* STEEPER FOOTPATH GRADE MAY BE ACCEPTABLE
UPON ENGINEERING APPROVAL.

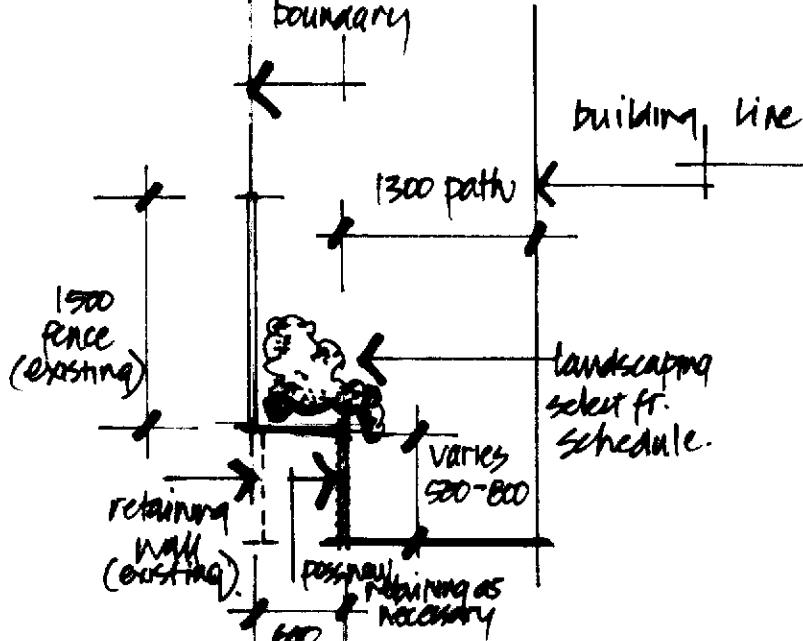
LONGITUDINAL DRIVEWAY SECTION (HIGHER SIDE OF ROAD)



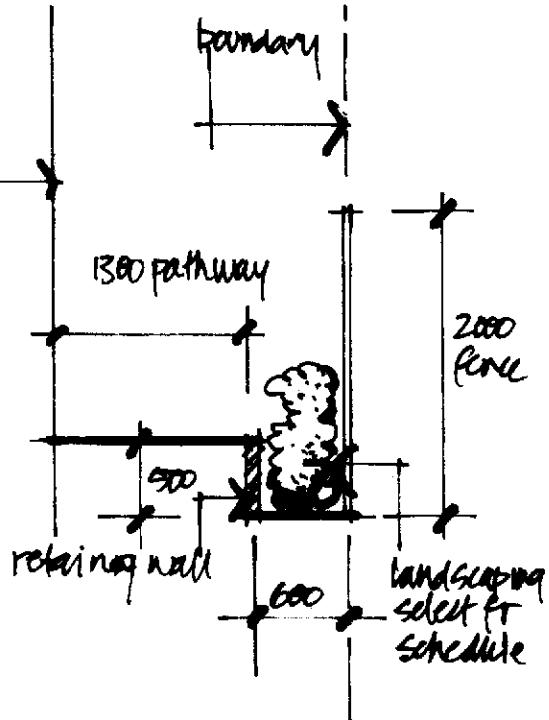
* STEEPER FOOTPATH GRADE MAY BE ACCEPTABLE
UPON ENGINEERING APPROVAL.

LONGITUDINAL DRIVEWAY SECTION (LOWER SIDE OF ROAD)

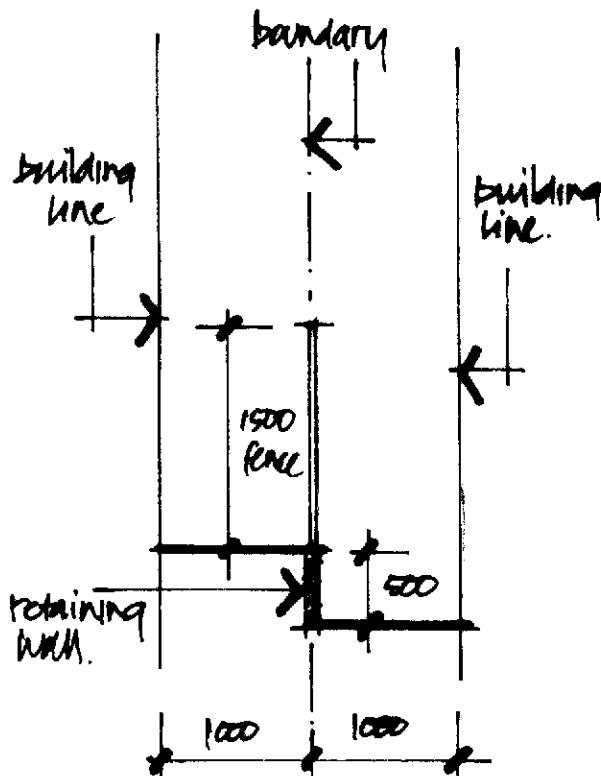
PROPERTY ACCESS GRADES



Typical South Boundary 1:50
(EXISTING TO REMAIN).



Typical North Boundary
1:50



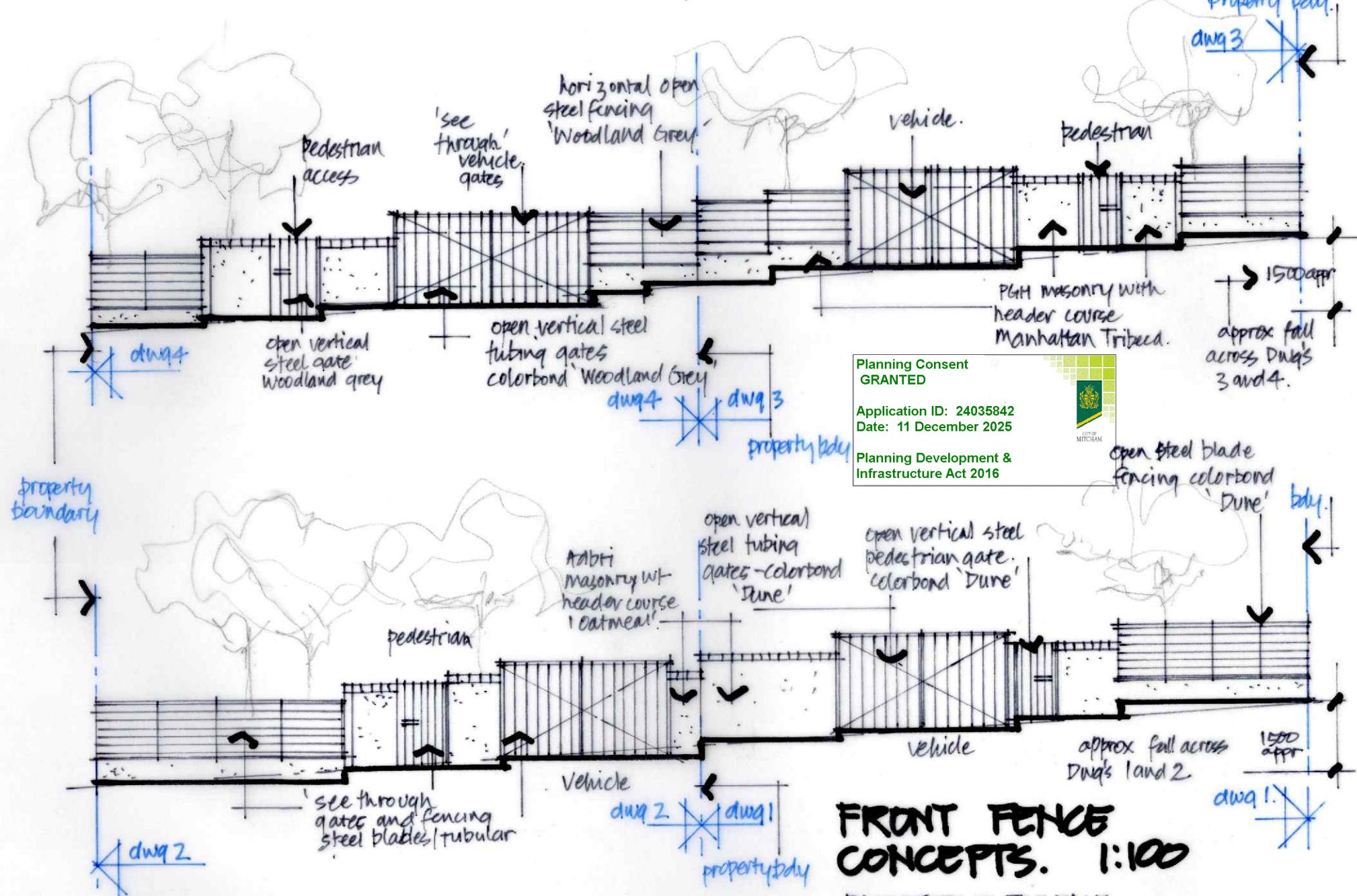
Typical between dwellings
1:50 Common wall boundary.



NOTE: SOUTHERN BOUNDARY
22 EAST TCE:
Existing fencing and
retaining wall to remain
-enhance as necessary w/
supplementary landscaping

BOUNDARY
FENCING/RET WALL
DETAIL. 1:50.

BILL CHANDLER
Chandler Urban Planning/Design
April 25/



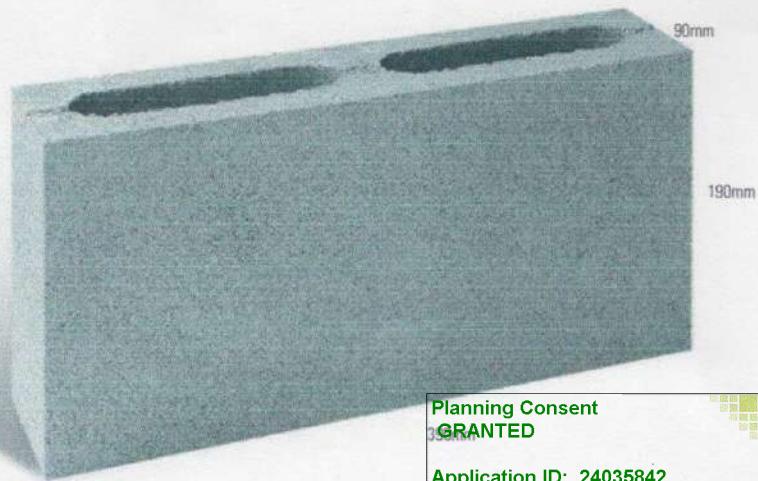
BILL CHANDLER OCT 25th
Chandler Urban Planning & Design.

FRONT FENCE CONCEPTS. 1:100

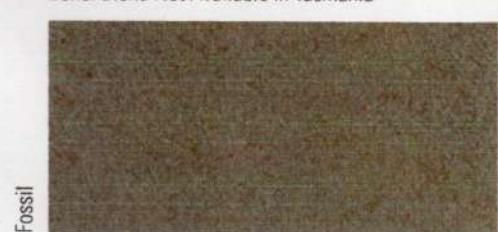
EAST TERRACE FRONTAGE.

ADBRI MASONRY. - Smooth Stone. - Oatmeal

1+2 Walls



*Please refer to page 22-23 for all sizes.



Smooth Stone offers a modern and creative alternative to standard grey masonry

These coloured concrete building blocks are offered in a range of different sizes. The smooth flat surface can be used to stunning effect either on their own or combined with other textured blocks or contrasting mortar.



* AUSTRALIAN HARDWOOD

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Infrastructure Act 2016

02 9627 5001

CONTACT US

Mahogany (Red)
Durability: class #1



Silvertop Ash (Feature)
Durability: class #2



Stringybark (Yellow)
Durability: class #2

Mahogany (White)
Durability: class #1



Spotted Gum
Durability: class #1*

Dwelling
1+2 upper level
wall/battens etc.



Tallowwood
Durability: class #1



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3+4 Walls. PGH Masonry — Manhattan Tribeca —

171

Classic finish



Matt finish



Colorbond®

COLORBOND® STEEL
CORE COLOURS

With 22 pale, mid and deep toned COLORBOND® steel core colours, and six colours also available in a premium Matt finish, you can enjoy the process of discovering the perfect colour scheme and design palette for your dream home.

Select from these colours for your roofing, walling, fascias, gutters, downpipes and garage doors.

For further colour inspiration visit COLORBOND.COM

Legend

SA = (Solar Absorbance) is a measure of how much of the sun's heat that a material absorbs. Choosing a colour with a lower SA is a cooler option and may help you meet building regulations such as NCC or BASIX. These are nominal values based on new product and measured in accordance with ASTM E 903-96.

● Available in COLORBOND® Ultra steel for coastal and industrial environments. Other colours in the Classic finish may be available on request.

Oct 2025



TRANSPORT ACCESS AND PARKING:

The development provides appropriate levels of carparking for each of the new dwellings. Connectivity to the existing road network is available and close by public transport facilities are also available.

SUMMARY:

Given the above, I am of the view that the development supports the policy regime contained within the Code for this locality

Should there be any further information required in relation to the above please contact me.

Bill Chandler MPIA(Fellow)

1 November 2025



MATERIALS AND COLOUR SCHEDULE:

DWELLINGS 1 & 2:

Walls: LOWER: - ADBRI MASONRY Concrete Blocks "Smooth Stone": colour "OATMEAL" or similar – square raked joints.

UPPER: - HEBEL Panel – rendered and painted to match Adbri "OATMEAL"
-Vertical Timber Slats AUSTRALIAN HARDWOOD – Spotted gum or similar – left natural

Roof/Eaves: Custom orb profile: colour "COLORBOND DUNE".

Outriggers: "COLORBOND DUNE" or similar - painted

Wall infill panels (as necessary): Custom orb profile: colour "COLORBOND DUNE" – fixed horizontal.

Gutters/Downpipes: ½ round gutter, round downpipes: colour "COLORBOND DUNE".

Fascia/external timbers: Fascia colour “COLORBOND DUNE” painted.

Moveable Screen: Horizontal slats: AUSTRALIAN HARDWOOD – Spotted Gum or similar
– left natural

Doors/Windows: Aluminium: colour “NATURAL”.

Garage Door: 1x Panel Lift: colour “COLORBOND PAPERBARK” with vertical line
feature - use Australian Hardwood Spotted Gum batten.

1x Panel Lift - Horizontal slats AUSTRALIAN HARDWOOD – Spotted Gum
or similar – left natural

Side Fencing: colour “COLORBOND WOODLAND GREY”.

Front Fencing: ADBRI MASONRY – “OATMEAL” together with ‘see through’ steel tubing
gates and horizontal bladed fencing coloured “COLORBOND DUNE”

DWELLINGS 3 & 4:

Walls: PGH MASONRY - Manhattan Tribeca or similar (red earthy colouration)

Roofing: Custom orb profile: colour “COLORBOND WOODLAND GREY”.

Wall and roof infill panels: Mini orb profile; colour “COLORBOND WOODLAND GREY”
– fixed horizontal.

Gutters/Downpipes: ½ round gutter, round downpipes: colour ‘COLORBOND
MONUMENT’
Outriggers : BLACK painted

Fascia/external timbers: colour BLACK painted

Doors/Windows: colour BLACK – powder coated aluminium

Garage Door: 1x Panel Lift: colour “COLORBOND WOODLAND GREY”
1x Panel Lift - Horizontal slats AUSTRALIAN HARDWOOD – Spotted Gum
or similar – left natural

Side fencing: colour “COLORBOND WOODLAND GREY”

Front Fencing: PGH MASONRY – Manhattan Tribeca together with ‘see through’ steel
tubing gates and horizontal bladed fencing coloured “COLORBOND
WOODLAND GREY”

DRIVEWAYS: concrete Block Paving: colour “CHARCOAL”.



PLANTING SCHEDULE:

TREES: (5-8m height)

Pyrus ussuriensis Manchurian Pear

SHRUBS/UNDERSTOREY: (Small – Medium 1-2m height)

Anigozanthus sp.	Kangaroo Paw
Correa pulchella	Native Fuschia
Correa reflexa	Native Fuschia
Diosma sp. (Dwarf)	
Eremophila densifolia	Emu Bush
Grevillea Lavandulacea	Lavender Grevillea
Thryptomene Hexandra	Thryptomene
Westringia Fruiticosa	Mundi

NATIVE GRASSES: (Drought Tolerant sp.)

Dianella sp.
Lomandra sp.
Liriope sp.

GROUND COVERS:

Myoporum Parvifolium (Broad Leafed Form) Grevillea Bibernata Agapantha sp. Grassing/lawn as necessary

